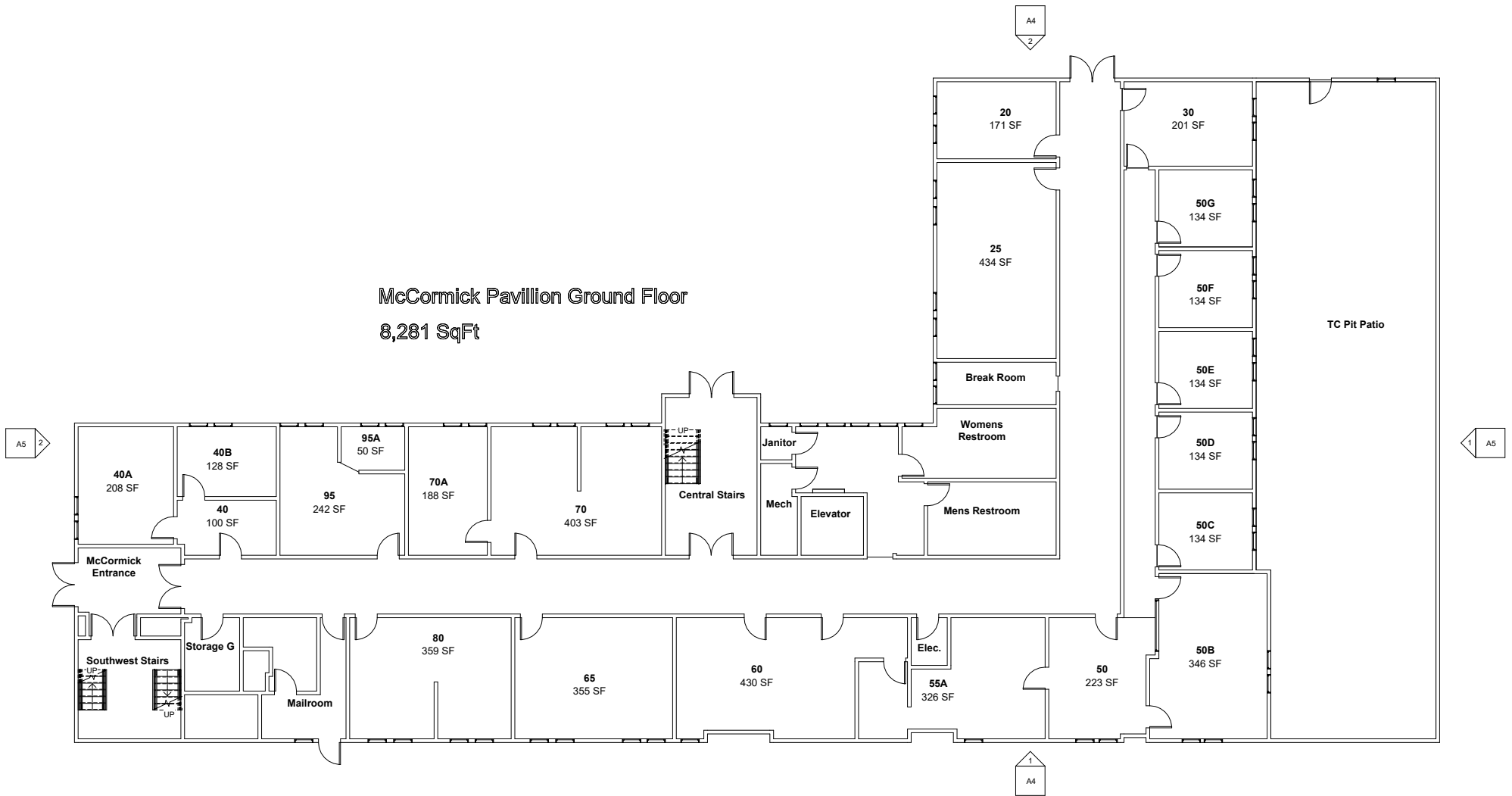


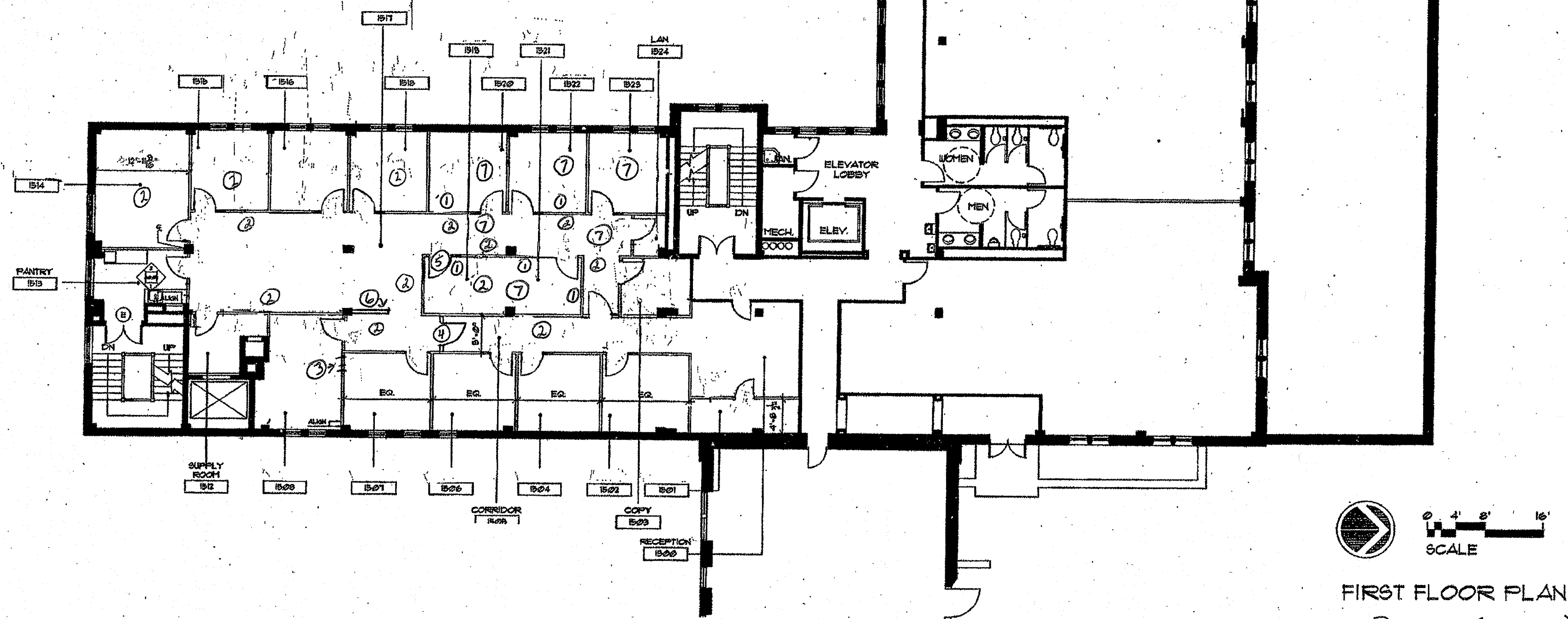
McCormick Pavillion Ground Floor
8,281 SqFt



The Theological College
McCormack Pavilion 1st Floor Multi Tenant Project

Demolition Notes:

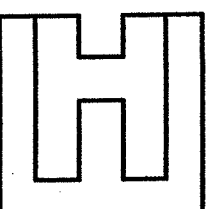
- 1) Demo office fronts of rooms 1520, 1522, 1519, 1521 and side wall of 1521. Remove all doors to these offices leaving the door frames in place with the exception of door and frame to office 1519 which gets removed and salvaged.
- 2) Demo all chair railing
- 3) Demo a 3'x7' opening in wall and relocate existing outlet to create a new cased opening
- 4) Demo wall, door and frame in common corridor, salvage door for re-use at office 1514 (replace wire glass with clear)
- 5) Remove door and frame from room 1519 and patch wall. Salvage frame to re-use for USCMA suite entry and door for supply room 1512
- 6) Demo Wall back to column
- 7) Demo all carpet and base in CLSA space. Save some carpet to floor in the other spaces where walls get removed



FIRST FLOOR PLAN
Demo (10-5-15)

1st Suite CLS, Catholic Mission
Theological Consession

2015

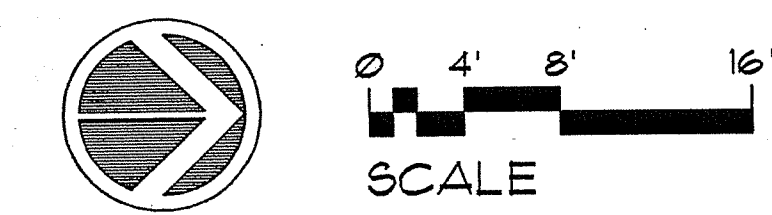
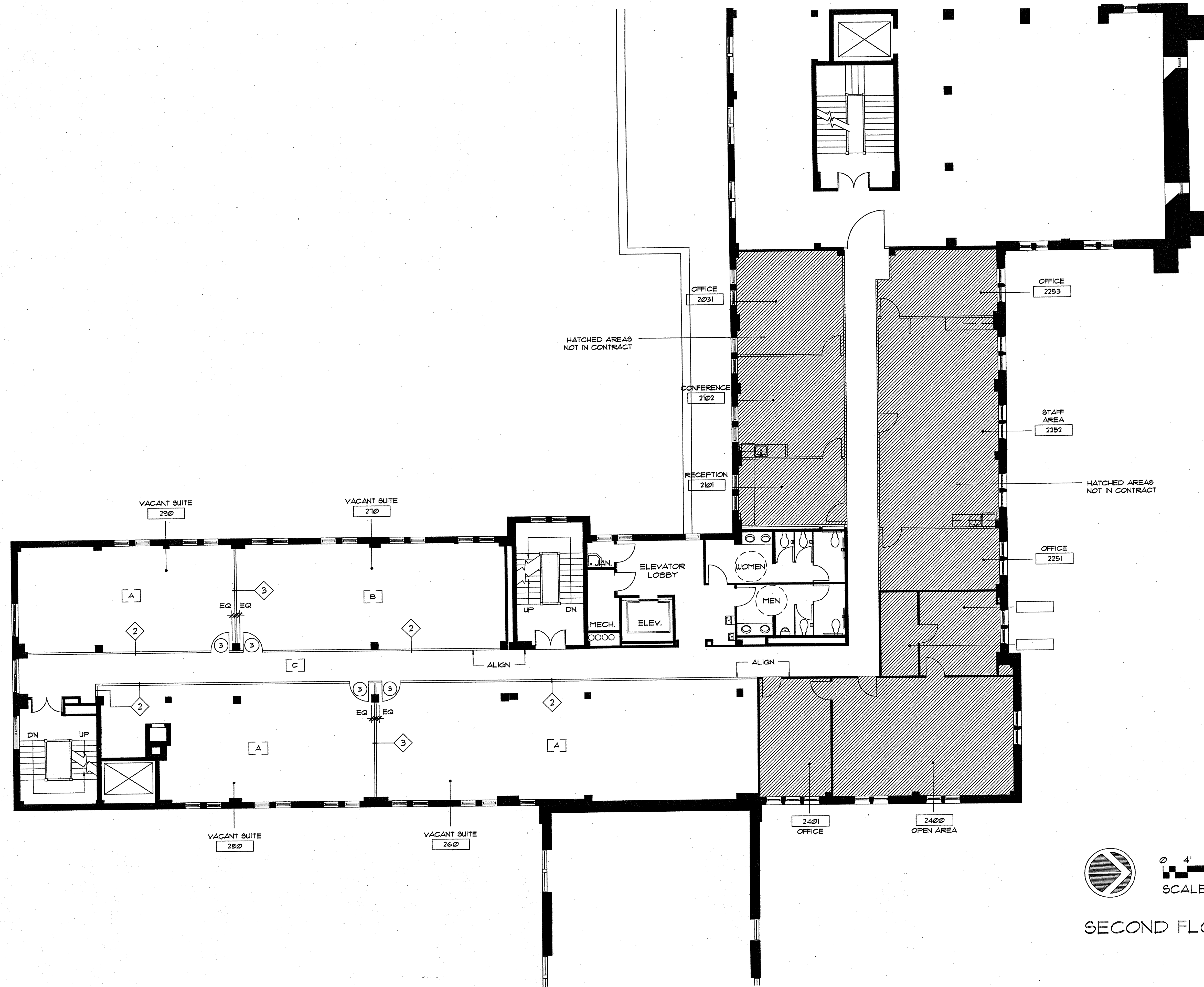


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THEOLOGICAL COLLEGE
4TH AND MICHIGAN AVE. NE
WASHINGTON, D.C.

TENANT AREAS
SUITE 260, 270, 280 & 290



SECOND FLOOR PLAN

GENERAL NOTES
FOR PARTITION PLAN

GENERAL NOTES

- Partitions are dimensioned finish to finish UON.
- Dimensions noted "clear" (CLR) are not adjustable without approval from WHDA.
- Refer to engineering drawings for details and location of wall openings in plan for air return/circulation.
- Refer to sheets A02 thru A05 for additional notes.
- Sprinkler contractor to provide drawings as req. to meet local codes.

GENERAL NOTES
FOR FINISH PLAN

FLOOR FINISH NOTES

- Floor surfaces shall be properly prepared prior to finish installation. Surfaces shall be sealed, sized or properly prepared per manufacturer's specifications. The GC shall patch uneven floor slab surfaces in order to provide a flat, continuous floor surface.
- Upon receipt from the manufacturer, the installer shall inspect materials for defects, flaws, shipping damage, color correctness, accurate dye lots, and pattern. Damaged or wrong materials shall be returned to the manufacturer for immediate replacement to prevent delays in the completion of the work. The installer shall coordinate with the manufacturer for an accurate shipping date for the replacement material. The installer shall advise WHDA immediately of changes in dye lots, or similar color shifts in any material for direction. The installer shall submit samples of finishes for tenant's approval.
- Areas to be carpeted shall be direct-glu.
- Transitions between carpet to carpet to be butt edge.
- Compliance with the manufacturer's requirements for handling, storage, installation and protection is the exclusive responsibility of the GC and his respective installers.
- Salvageable materials shall be returned to and stored at the tenant's discretion.

WALL FINISH NOTES

- Only where indicated "equal to" or "substitutions" for specified materials, product data or samples shall be discussed with or submitted to WHDA for approval prior to procurement. The installer shall follow specification and notes as written unless otherwise agreed upon with WHDA.
- Before proceeding with procurement, the respective installer shall field verify dimensions to assure sufficient quantities of materials to complete the work.
- Walls and surfaces receiving paint and wallcovering, etc. shall be properly prepared prior to finish installation as per manufacturer's specifications.
- Finishes shall be installed in strict accordance with the manufacturer's specifications and instructions and in a manner consistent with the highest quality standards of workmanship.
- Where there is a question as to the acceptable level of quality for the installation of any materials, WHDA shall act as mediator.

- Upon receipt from the manufacturer, the installer shall inspect materials for defects, flaws, shipping damage, color correctness, accurate dye lots, and pattern. Damaged or wrong materials shall be returned to the manufacturer for immediate replacement to prevent delays in the completion of the work. The installer shall coordinate with the manufacturer for an accurate shipping date for the replacement material. The installer shall advise WHDA immediately of changes in dye lots, or similar color shifts in any material for direction. The installer shall submit samples of finishes for tenant's approval.
- Compliance with the manufacturer's requirements for handling, storage, installation and protection is the exclusive responsibility of the GC and his respective installers.
- Walls specified to be painted shall be painted with one prime coat and two finish coats as indicated on the plan UON.
- New doors and frames shall match existing base building standards.
- Ceiling registers, vents, grills, diffusers, speakers, etc. shall be painted to match ceiling color.

- Finishes called for shall extend over, under and/or behind any items of built-in millwork equipment, mirrors, etc. as indicated on the drawings.
- The installer shall refer to the plan for specific locations of finishes. Should the installer find any discrepancies, omissions, ambiguities or conflicts on the plans, he should bring the item(s) to the attention of WHDA for direction prior to bid submission.
- Interior and exterior fire valve cabinets and fire extinguisher cabinets shall be painted to match adjacent wall.
- All salvageable materials shall be returned to and stored at the tenant's discretion.

SECOND FLOOR

Project Number: 1027.07

Submittals/Revisions:

No.	Date	Description
1	9-10-99	SUBMITTED FOR ENGINEERING
2	9-23-99	SUBMITTED FOR PERMIT

Seal

Sheet Title:

PARTITION PLAN
FINISH PLAN

Drawn By: DJR
Checked By: DJR/LGA

Scale: 1/8" = 1'-0"

CADD File: 07/1021/TS-2vacant/dwg/1027par-fin02

Drawing No:

A2.01